

- Legend:**
- ⊠ Downspout locations
 - ⊕ Condensate Line
 - ⊙ Backflow preventer
 - ⊞ Electric Meter
 - Yard Hydrant
 - Existing Trees & Shrubs To Be Preserved
 - Existing Trees To Be Removed

NOTES

THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES ARE NOT SHOWN ON THIS PLAN, SEE CIVIL PLANS OR CONTACT MISS UTILITY.

CONTRACTOR TO ASSUME ALL RESPONSIBILITY FOR CONSTRUCTION METHODS EMPLOYED AND FIELD VERIFY ALL DIMENSIONS. ISSUES AND CONCERNS SHALL BE REPORTED TO FOUR WINDS.

CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AT ALL TIMES DURING THE DEMOLITION AND BUILDING PROCESS.

NO PUBLIC THOROUGHFARES INCLUDING SIDEWALKS SHALL BE BLOCKED DURING DEMOLITION OR CONSTRUCTION WITHOUT PROPERLY DISPLAYED MUNICIPALITY PERMITS. NO HOLES SHALL BE LEFT OPEN OVERNIGHT WITHOUT SECURING PERIMETER FENCING OR INSTALLING CAUTION TAPE AROUND THE HOLE.

CONTRACTOR TO OBTAIN ALL BUILDING PERMITS, SOIL STUDIES, AND STRUCTURAL DETAILS AS REQUIRED BY THE MUNICIPALITY.

MASON TO TRY TO MATCH THE EXSTING STONE VENEER. IF MATCHING ISN'T POSSIBLE ENOUGH OF THE VENEER ON THE EXISTING RETAINING WALLS SHOULD BE SALVAGED TO COVER THE RAISED FIREPIT, BARTOP, AND STAIR RISERS AT THE FRONT DOOR.

THE FIELD STONE SHALL BE SALVAGED, STACKING IT BEHIND THE SHED NEAR THE DRIVEWAY ENTRANCE.

THE STRAIGHT SECTIONS OF BLUESTONE WALL CAP AND STAIR TREAD SHALL BE SALVAGED.

ALL POOL EQUIPMENT AND PIPING SHALL BE PRESSURE TESTED WHILE THE SURROUNDING WORKSPACE IS FREE AND CLEAR JUST AFTER DEMO.

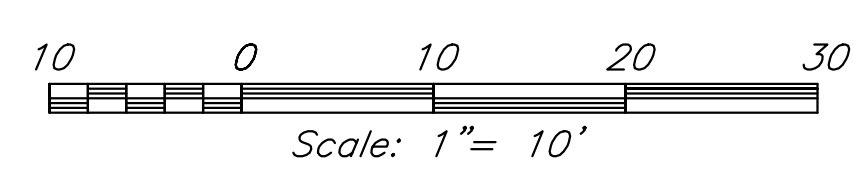
ALL PIPING, WIRING, HEADS, CONTROLLER, AND DRIP LINES OF THE EXISTING IRRIGATION SYSTEM CAN BE ABANDONED IF NOT ECONOMICALLY FEASIBLE FOR RE-USE. SALVAGE VALVE BOXES AS POSSIBLE AND TEST BACKFLOW PREVENTER FOR PERFORMANCE.



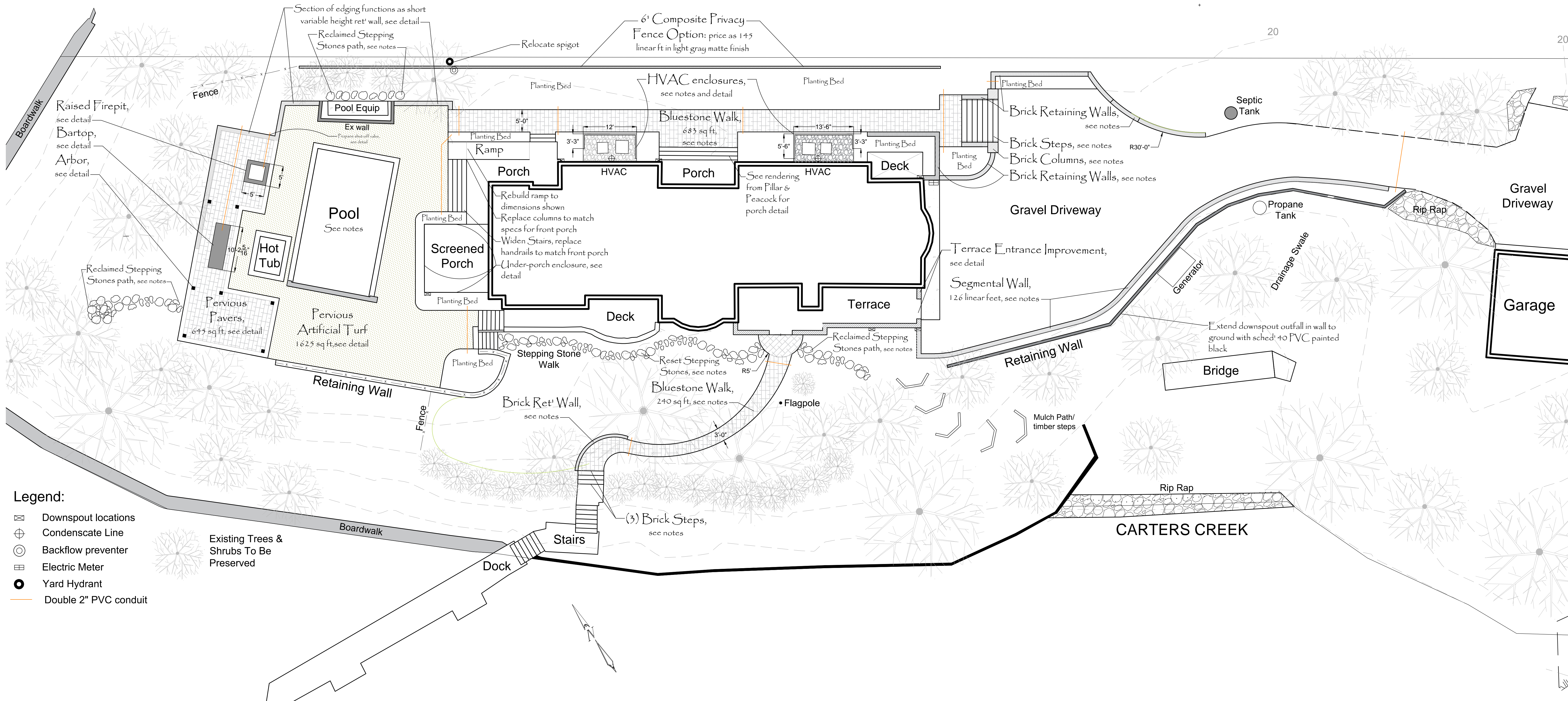
Wozniak Residence
 91 York Road
 Irvington, Virginia

Existing Conditions & Demolition Plan
 For construction

Date: 6.28.24	Revised per client comment, 2.19.24
	Revised per client comment, 3.3.24
Scale: 1"=10'	Revised per contractor meeting, 3.13.24
	Revised per town comment, 4.19.24



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- Legend:**
- ⊗ Downspout locations
 - ⊕ Condensate Line
 - ⊙ Backflow preventer
 - ⊞ Electric Meter
 - Yard Hydrant
 - Double 2" PVC conduit
- Existing Trees & Shrubs To Be Preserved

NOTES

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CONTRACTOR TO OBTAIN ALL BUILDING PERMITS, SOIL STUDIES, AND STRUCTURAL DETAILS AS REQUIRED BY THE MUNICIPALITY.

MASON TO TRY TO MATCH THE EXISTING STONE VENEER. IF MATCHING ISN'T POSSIBLE ENOUGH OF THE VENEER ON THE EXISTING RETAINING WALLS SHOULD BE SALVAGED TO COVER THE RAISED FIREPIT, BARTOP, AND STAIR RISERS AT THE FRONT DOOR.

ALL POOL AND HOT TUB EQUIPMENT AND PIPING SHALL BE PRESSURE TESTED WHILE THE SURROUNDING WORKSPACE IS FREE AND CLEAR JUST AFTER DEMO.

THE POOL AND HOT TUB SHALL HAVE COPING AND WATERLINE TILE REMOVED. COPING SHALL BE REPLACED WITH 2" SILVER TRAVERTINE, BULLNOSE FINISH, 1 1/4" WIDTH BY AURA STONE AVAILABLE THROUGH RIVERSIDE BRICK. TILE SHALL BE SELECTED BY OWNER. REFINISH INTERIOR OF BOTH STRUCTURES AND CHECK WATERPROOFING.

THE EXISTING STEPPING STONE PATH SHALL BE RE-LAID SUCH THAT THE STEP RISERS ARE EQUAL AND LEVEL. THE LARGEST STONES SHALL BE USED FOR STEPS. ADD (2) STONE PATHS AS SHOWN. LEVEL ALL STONES IN GRANITE DUST LEAVING FINISHED ELEVATION ABOVE GRADE TO RECEIVE MULCH.

GROUND SURFACING WITHIN THE HVAC ENCLOSURES SHALL BE #57 CLEAN STONE LAID TO A DEPTH OF 3" OVER COMMERCIAL GRADE LANDSCAPE FABRIC. EDGE WITH TREATED 2x4'S.

THE PROPANE TANK BELOW THE RETAINING WALL SHALL BE TESTED AND RESIZED IF NECESSARY TO SERVICE HOME COMPONENTS FORMERLY SERVICED BY REMOVED TANK.

THE SEGMENTAL WALL SHALL BE HIGHLAND STONE IN JAMES RIVER COLOR BY BELGARD. INSTALL WITH ONE FULL STONE (DOUBLE SIDED) ABOVE GRADE ON UPHILL SIDE PLUS CAP. LEVEL DRIVEWAY AND MAINTAIN CONSISTENT HEIGHT RELATIVE TO EXISTING TIMBER WALL.

THE BRICK FOR THE RETAINING WALL, STAIR RISERS, AND COLUMNS IS TBD PENDING MATCHING OF EXISTING STONE VENEER. THE WALL CAPS AND STAIR TREADS SHALL BE 1" SELECT BLUESTONE WITH 1.5" OVERHANG AND ROCKFACE EDGE TREATMENT.

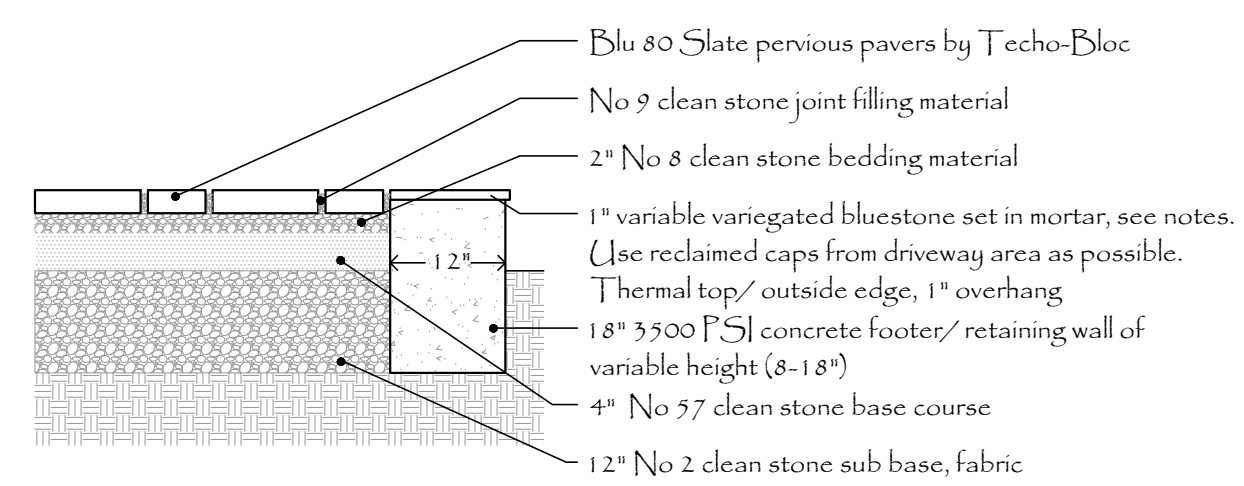
THE BLUESTONE WALKS SHALL BE WET SET SELECT BLUESTONE IN PATTERN II.

HANDRAILS ON THE DRIVEWAY SIDE BRICK STEPS SHALL BE BLACK POWDER COATED ALUMINUM WITH LAMBS TONGUE TERMINUS CORE DRILLED AND EPOXIED INTO TREADS

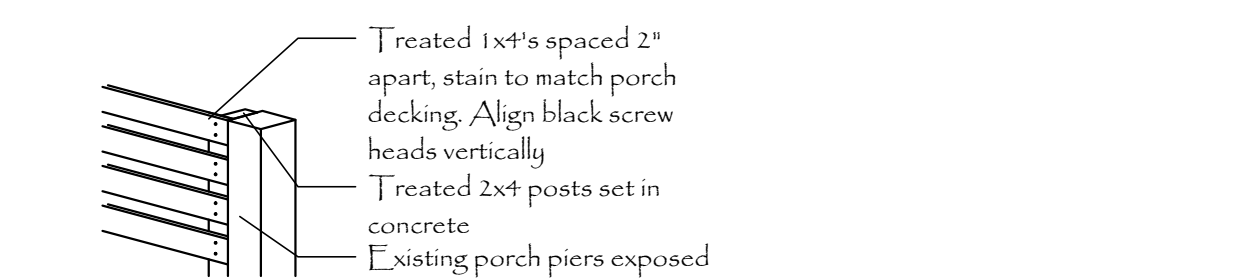
USE EXCAVATED SOILS TO FILL THE AREA FOR THE STEPPING STONE PATH ADJACENT TO THE POOL EQUIPMENT. UNDERGROUND DRAINAGE SYSTEM NOW HANDLES RUNOFF THROUGH THIS AREA.



Pervious Artificial Turf
no scale



Pervious Pavers
no scale



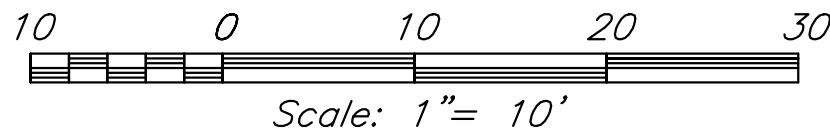
Under Porch Enclosure
no scale



Terrace Entrance Improvements
no scale

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www.fourwindsdesign.net

Layout Plan
Not for construction



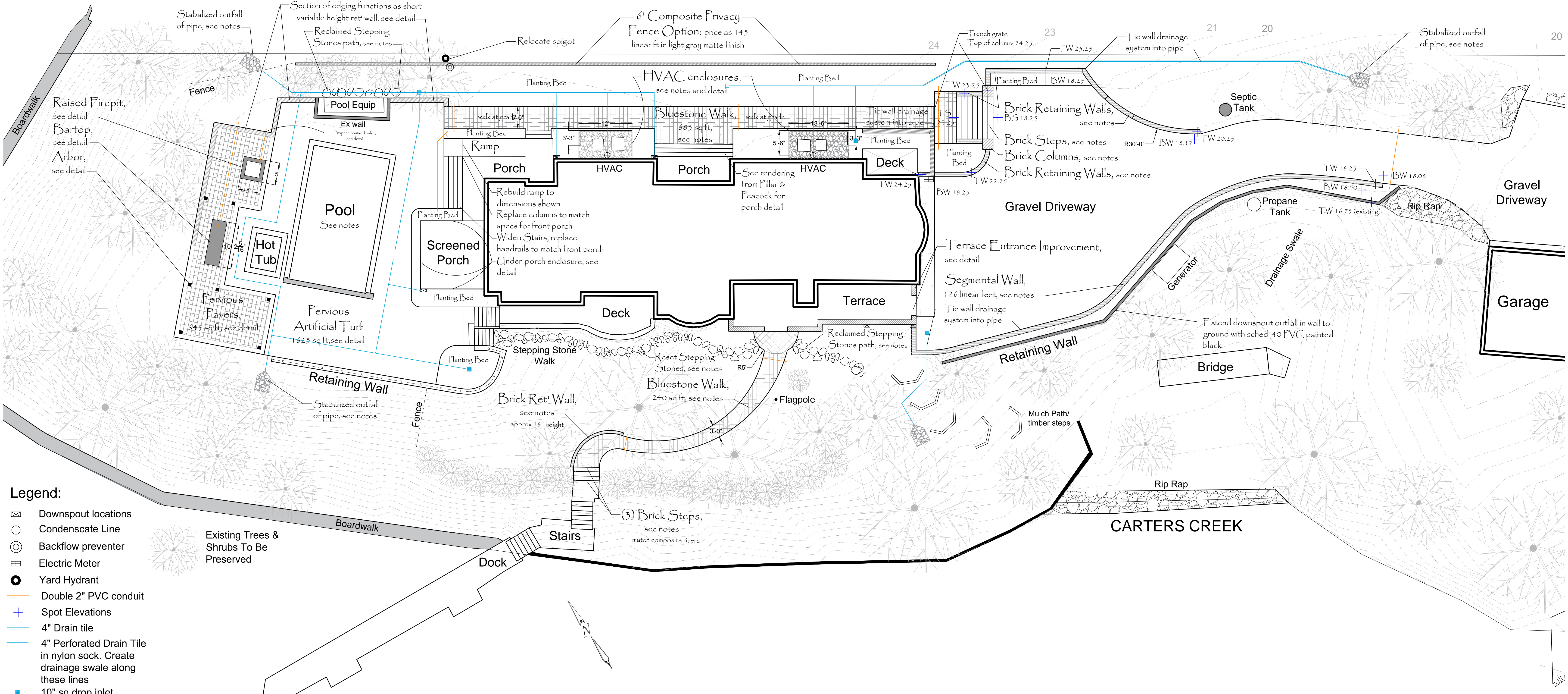
Wozniak Residence
91 York Road
Irvington, Virginia

Date:
6.28.24

Revised per client comment, 2.19.24
 Revised per client comment, 3.3.24
 Revised per contractor meeting, 3.13.24
 Revised per town comment, 4.19.24

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1"=10'

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2 of 6



- Legend:**
- ⊗ Downspout locations
 - ⊕ Condensate Line
 - ⊙ Backflow preventer
 - ⊞ Electric Meter
 - Yard Hydrant
 - Double 2" PVC conduit
 - + Spot Elevations
 - 4" Drain tile
 - 4" Perforated Drain Tile in nylon sock. Create drainage swale along these lines
 - 10" sq drop inlet
- Existing Trees & Shrubs To Be Preserved

NOTES

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STABILIZE DRAINAGE PIPE OUTFALL WITH RECLAIMED RIP RAP AND/ OR WALL STONE OVER COMMERCIAL GRADE FABRIC.

CONTRACTOR TO CONFIRM ALL NOTED ELEVATIONS, PROPOSED AND EXISTING, IN THE FIELD.

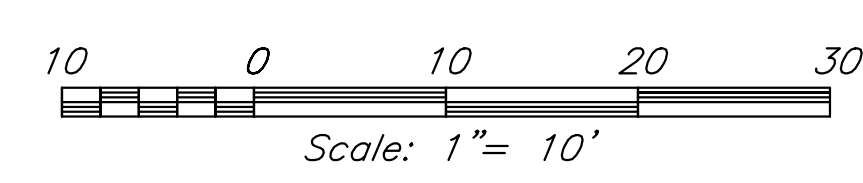


Wozniak Residence
 91 York Road
 Irvington, Virginia

Grading & Drainage Plan
 Not for construction

Date:
 6.28.24

Revised per client comment, 2.19.24
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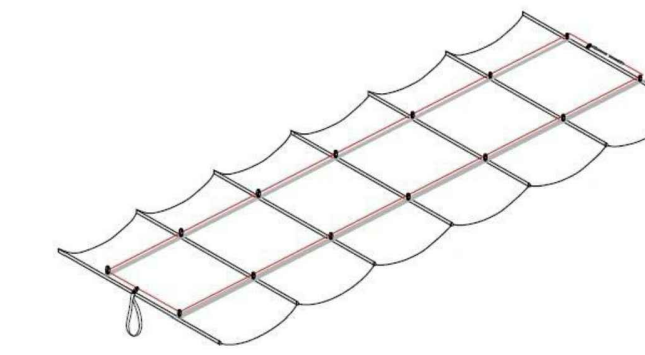
CANOPY SPECIFICATIONS

The canopy is composed of individual modules that attach together on the width side. Multiple sections are placed side by side to cover the width and as many modules per section to cover the length of the space.

Canopy Width: Up to 12 feet in half inch increments.
 Canopy Length: Open
 Panel width: To match canopy width
 Panel length (bar to bar): Typical: Flat 24", Bellowed 22"-23". Custom: as requested.
 Vertical length from cable to bottom of canopy when retracted 15"
 Vertical length from cable to bottom of canopy when extended 6"-8"

Example: one section of 5' wide with 6 panels
 Flat Length: 144"
 Bellowed Length: 132"-138"
 Width: 60"-60.67" Section. Total 120"-121.2"
 Total Weight: 23 lbs.
 Minimum gap between sections, 1"
 Minimum gap between canopy and structure 1"

Parts Listing:
 6 Fabric Panels
 7 Profiles
 14 End Caps
 16 Hook and Base Pairs
 1 Turnbuckle
 35' of Stainless Steel Cable
 4 Eye Screw / Eye Bolts
 1 Roll of Limit Tape (35')



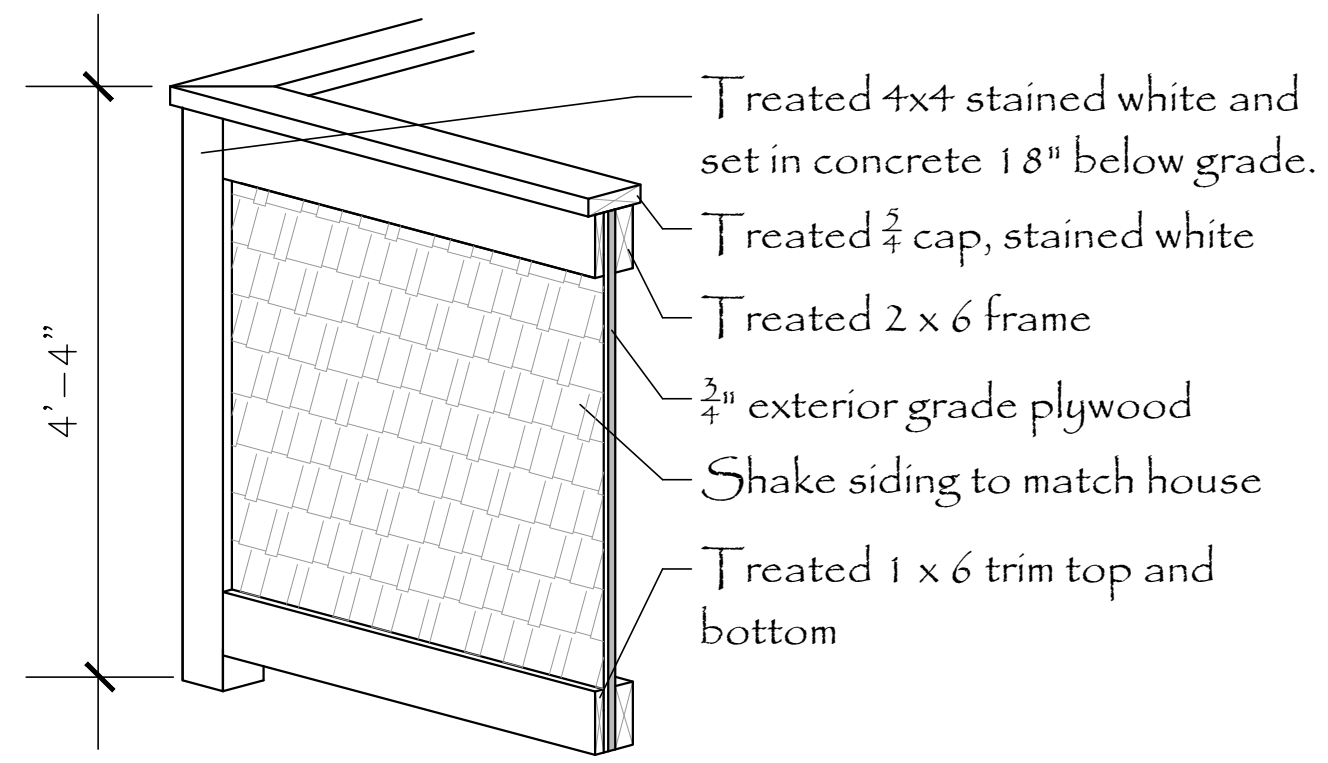
Typical Section

PARTS SPECIFICATIONS

Extrusion (Profile) 6063T Anodized Aluminum
 Shade Panel Per customer selection
 Hook and Base Pair AISI316 Stainless Steel
 End Cap Plastic with Stainless Steel Screw
 Limit Tape L. 35' 100% Polypropylene
 Aircraft Cable AISI316 Stainless Steel
 Eye Screw/Eye Bolt AISI316 Stainless Steel
 Turnbuckle Open Length 19" AISI316 Stainless Steel
 Turnbuckle Closed Length 12"

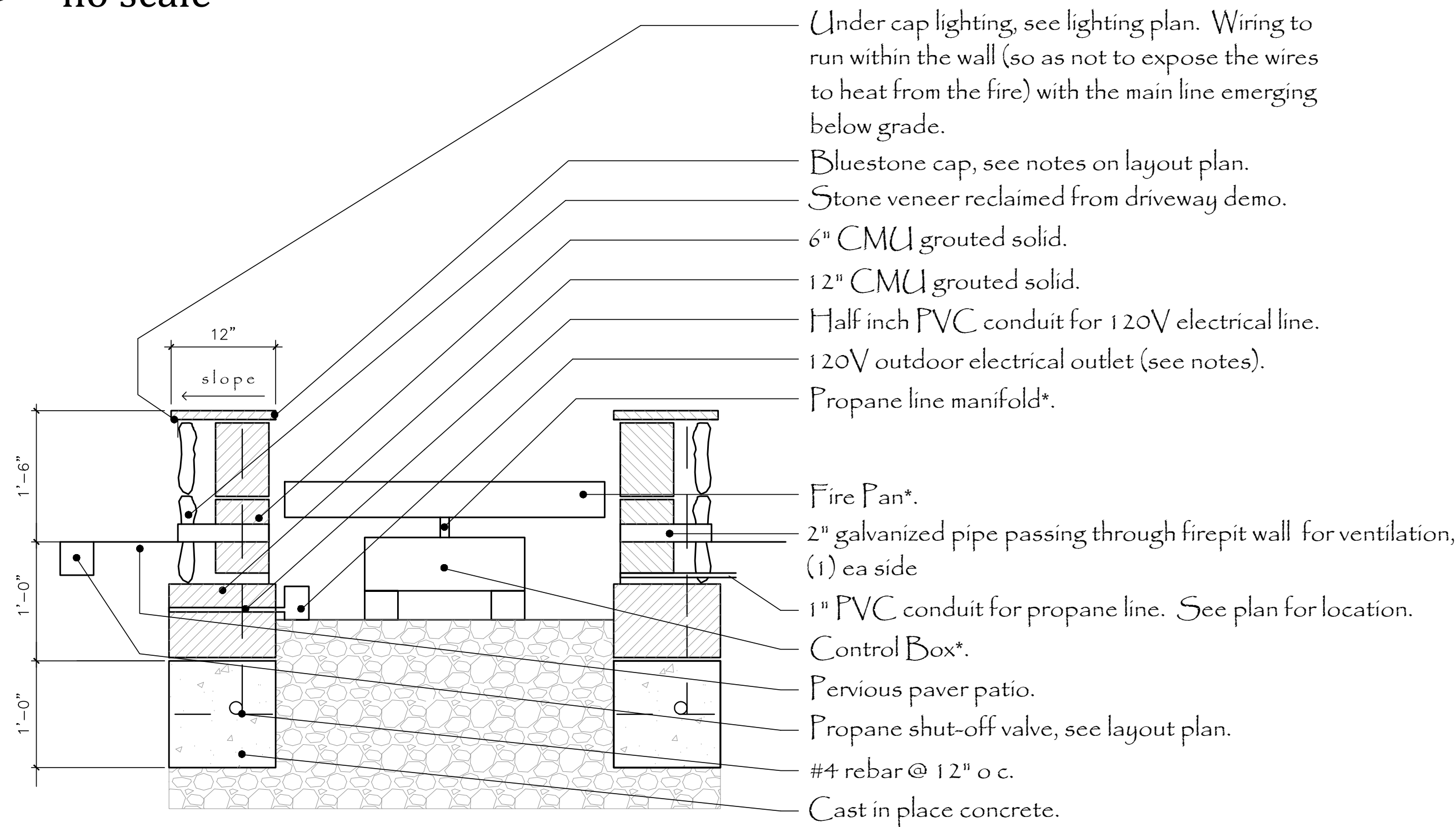
Recommended Cable Support sizes

Up to 40' projection 5/32" stainless steel cable, type 316, 1x19 construction. Breaking point 3,000 lbs.
 3/16" stainless steel cable, type 316, 1x19 construction. Breaking point 4,500 lbs.
 41' and longer 1/4" stainless steel cable, type 316, 7x7 construction. Breaking point 7,500 lbs.



HVAC Enclosures

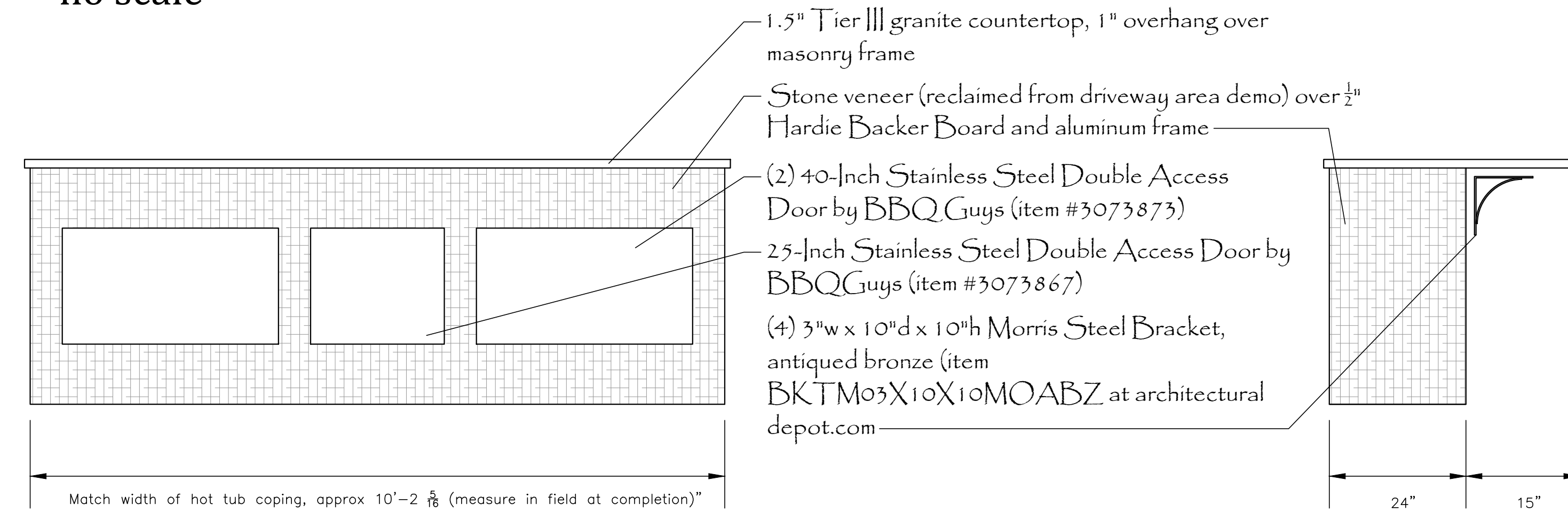
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* Consult with client for desired BTU output and fire pan finishing/ decorative elements.

Firepit

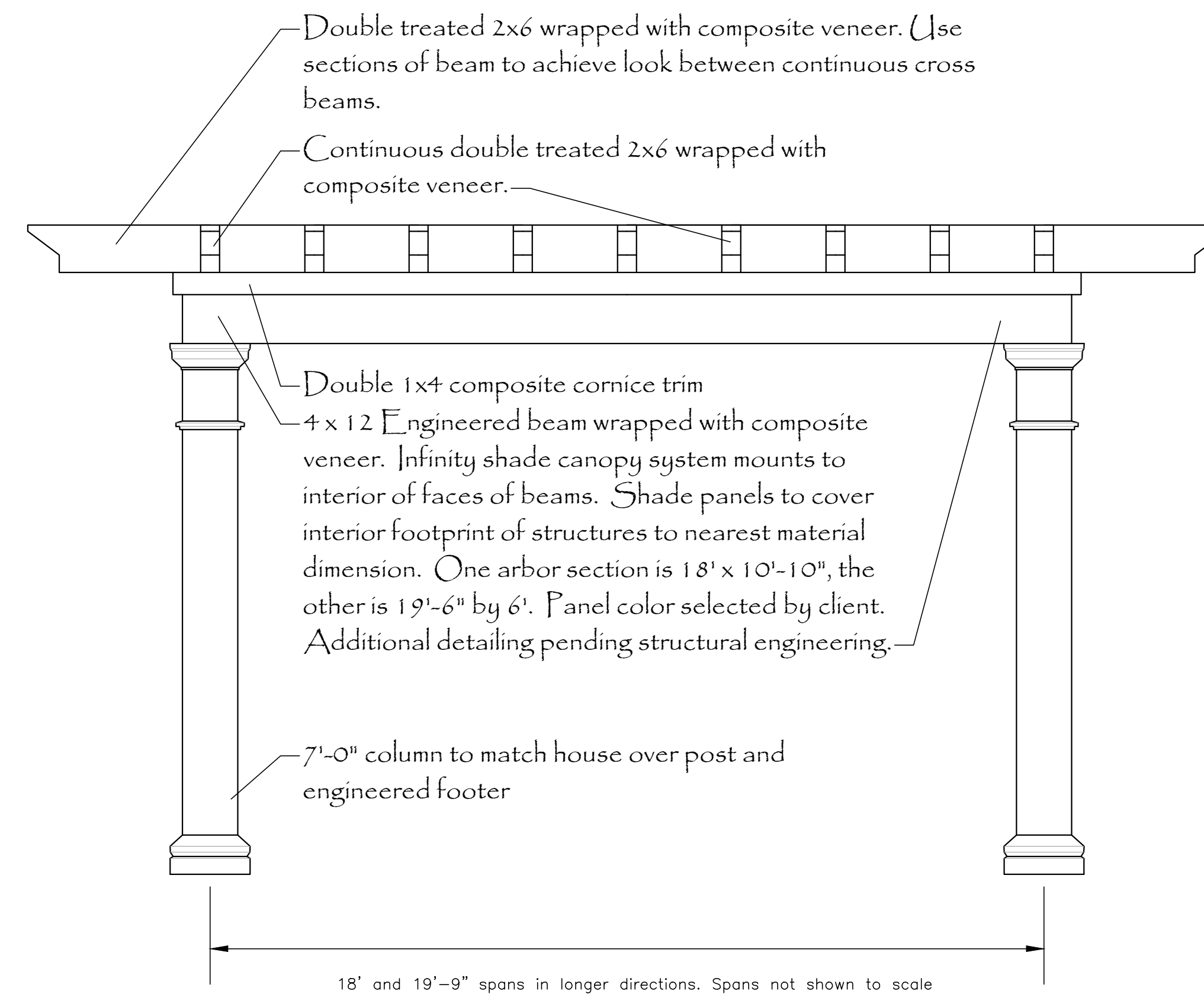
no scale



Bartop and Storage

no scale

Shade Panels within arbor framing



Arbor

no scale

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 www.fourwindsdesign.net

Details
 Not for construction

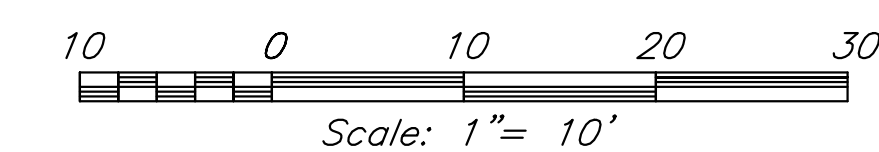
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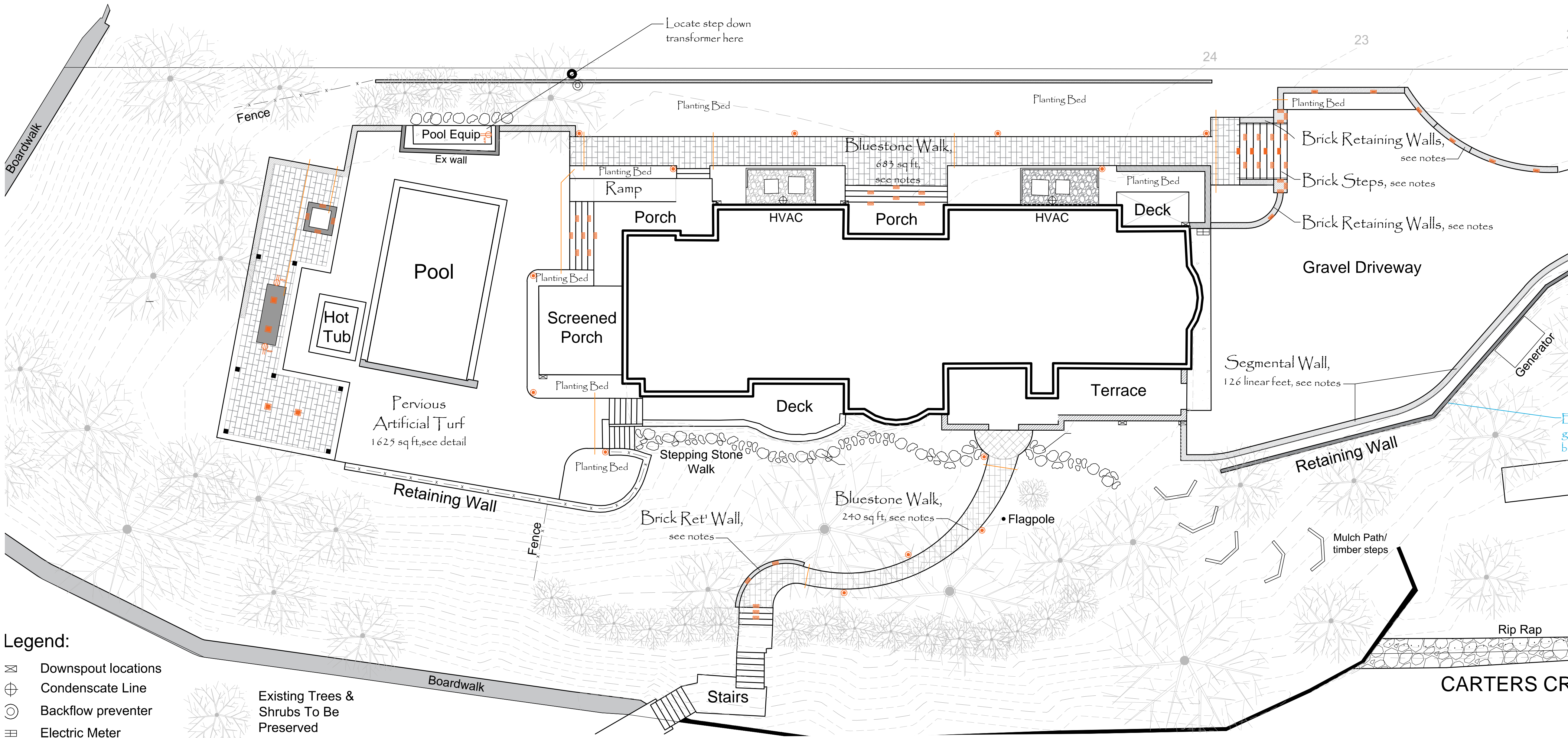
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- Legend:**
- ⊗ Downspout locations
 - ⊕ Condensate Line
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 - ⊞ Electric Meter
 - ⊙ Yard Hydrant
 - Double 2" PVC conduit

Existing Trees & Shrubs To Be Preserved

- LIGHTING EFFECTS & OUTLETS**
- PATHLIGHTING: 15810AZT
 - DOWNLIGHTING: 1615AZT30
 - TREADLIGHTING: 16102AZT30
 - TREADLIGHTING: 16101AZT30
 - GFI DUPLEX OUTLET (3)

LIGHTING NOTES

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UPON COMPLETION OF THE LIGHTING WORK THE CONTRACTOR SHALL CONTACT THE CLIENT TO SCHEDULE A WALK THROUGH AT NIGHT TO ADJUST DIMMER LEVELS AND REVIEW CONTROLS.

THE LIGHTING ZONES SHALL BE AS FOLLOWS: DRIVEWAY AREA, FRONT WALK, POOL AREA, AND WATERSIDE OF HOUSE. COORDINATE WITH THE GENERAL CONTRACTOR TO INSTALL REMOTE CONTROL LIGHT SWITCHES ON THE INTERIOR OF THE HOME AT MAIN ENTRANCES TO EACH ZONE. PROVIDE A DIMMER SWITCH FOR ALL ZONES.

FIXTURE 16152AZT30 IS TO BE MOUNTED ON THE UNDERSIDE OF THE ARBOR STRUCTURE TO ILLUMINATE THE BARTOP AND SEATING AREA. PROVIDE HONEYCOMB BAFFLE FOR FIXTURE AND FLANGE SURFACE MOUNTING (PART 15607AZT) PER MANUFACTURER.

ALL LIGHTING FIXTURES AND EFFECTS SHALL BE DARK SKY COMPLIANT.

LED Dome Path Light

ORDERING INFORMATION						
EXAMPLE: 15810BRR (Product # & Finish)						
PRODUCT	FINISH	WATTAGE	LIGHT SOURCE	WIRING	MOUNTING ACCESSORIES (INCLUDED)	OPTIONS & ACCESSORIES
15810	Cast Aluminum AZT - Textured Architectural Bronze™	4 W / 5.8 VA	Integrated LEDs and Driver 2950K (-150/+175) High CRI	30' of usable #18-2, SPT-1-W leads.	8" In-ground stake	15601AZT - Cast Aluminum Surface Mounting Flange w/ Bronze Finish, Neoprene Gasket For Watertight Seal 15601BKT - Cast Aluminum Surface Mounting Flange w/ Black Finish, Neoprene Gasket For Watertight Seal 15601BRR - Cast Brass Surface Mounting Flange, Neoprene Gasket For Watertight Seal
	BE - Beach		Note: Not for use with electronic transformers.	Cable connector supplied.		Flange For Tree / Surface Mounting 15607AZT - Textured Bronze Finish 15607BKT - Textured Black Finish 15607BRR - Bronzed Brass Finish
	BKT - Textured Black					
	Cast Brass BRR - Bronzed Brass					

NOTES

For Warranty Information, please visit www.landscapelighting.com

We reserve the right to revise the design or components of any product due to parts availability or change in UL standards, without assuming any obligation or liability to modify any products previously manufactured, and without notice.

12V Integrated LED Accent Light 16150-16158

PROJECT:		ORDERING:	
TYPE:		COMMENTS:	

FEATURES

- High lumen output in small body
- Custom optics for superb center-to-edge uniformity
- Available beam angle: 10°, 35° & 60°
- Complete sealed system for improved reliability
- Advanced ESD protection
- IP66 rated

PERFORMANCE			
	200 Lumen	300 Lumen	500 Lumen
Input Voltage	9-15V	9-15V	9-15V
VA Total @ 15VAC	3.5	5.25	10
Wattage	2.5	3.5	7
Efficacy (Lm/W)	80	86	71
Halogen Replacement	20W	35W	50W

ENVIRONMENTAL

Environmental Protection Rating: Wet IP67
 Operation Ambient Temperature: -25°C ~ +40°C
 Storage Temperature: -40°C ~ +80°C
 Expected Life Time: 50K Hours > 75°C Tc Max

MECHANICAL & HOUSING SPECIFICATION

Length: 3.5" / 89 mm
 Width: 3.25" / 83 mm
 Height: 4.5" / 114 mm
 Housing Material: Aluminum, Brass
 Housing Color & Surface: Alum 1.05lb / 0.5Kg, Brass 2.3lb / 1.1Kg

AVAILABLE FINISHES

- AZT Architectural Bronze
- BKT Black
- CBR Centennial Brass

12V Integrated LED Hardscape 16100-16103

PROJECT:		ORDERING:	
TYPE:		COMMENTS:	

PERFORMANCE

Fixture	16100	16101	16102	16103
Fixture Length	3.5"	6"	12"	18"
Lumen Output	10	40	85	125
Input Voltage	9-15	9-15	9-15	9-15
Power (W) @ 12VAC	0.3	0.9	1.9	2.7
Power (VA) @ 12VAC	0.6	1.5	2.9	3.8
Efficacy (L/W)	33	45	45	46

FEATURES

- The adjustable fixture can pivot 180° for direct to surface install and pivot 270° when installed with mounting bracket. Usable range is installation dependent.
- Offering a custom optical lens that diffuses light to deliver smooth, uniform output while eliminating hotspots and glare that may reflect off walls or installation surfaces.
- Can be installed either as a traditional downlight or as an uplight, on or off mounting bracket.
- As installed either as a traditional downlight or as an uplight, on or off mounting bracket.
- 4,000-volt system surge protection helps guard against system power surges and irregularities.
- Customizable mounting bracket with breakout corner tabs that allow for easier installations in retrofit applications.
- Bracket is designed as an installation template with centering notch and screw pilot holes for installation guidance when mounting off bracket.

SPECIFICATIONS

Fixture		Environmental	
Light Source	Integrated LED	Environmental Protection Rating	Wet IP67
Color Temperature	2700K 3000K	Operation Ambient Temperature	-25°C ~ +40°C
Color Rendering Index	80+	Expected Life Time (L70)	50K Hours
Binning	3 Step	Mechanical & Housing Specification	
Beam Angle	108°	Length/Width/Height:	3.5" x .78" x .75"
Fixture can be used in UP or DOWN position		16101	6" x .78" x .75"
		16102	12" x .78" x .75"
		16103	18" x .78" x .75"
Input Voltage Range	9 - 15V	Bracket Depth	3"
	AC or DC with no loss in light output	Housing Material	Aluminum, Brass
Input Frequency	47 - 63Hz	Housing Color & Surface	AZT, BKT, CBR, GRY, SD
Power Factor	.6 @ 12V	Weight:	16100
		16101	Alum 0.4Lb, Brass 0.55Lb
		16102	Alum 0.9Lb, Brass 1.3Lb
		16103	Alum 1.2Lb, Brass 1.65Lb

FIXTURE

Body
A380 Aluminum, C360 Brass casting

Wire
18 AWG, SPT-1W, 105°C, 300V, 84" usable length

Optics
Custom optics with a diffused lens provides smooth, uniform light distribution to eliminate glare and hotspots

Included Accessories
304 stainless steel masonry bracket, off-bracket mounting kit, and 2 gel-filled wire nuts

AVAILABLE FINISHES

- AZT Textured Architectural Bronze
- BKT Textured Black
- CBR Centennial Brass
- GRY Textured Gray
- SD Textured Sand

FOUR WINDS DESIGN, LC

804-920-5878
www.fourwindsdesign.net

Wozniak Residence

91 York Road
Irvington, Virginia

Lighting Plan

Not for construction

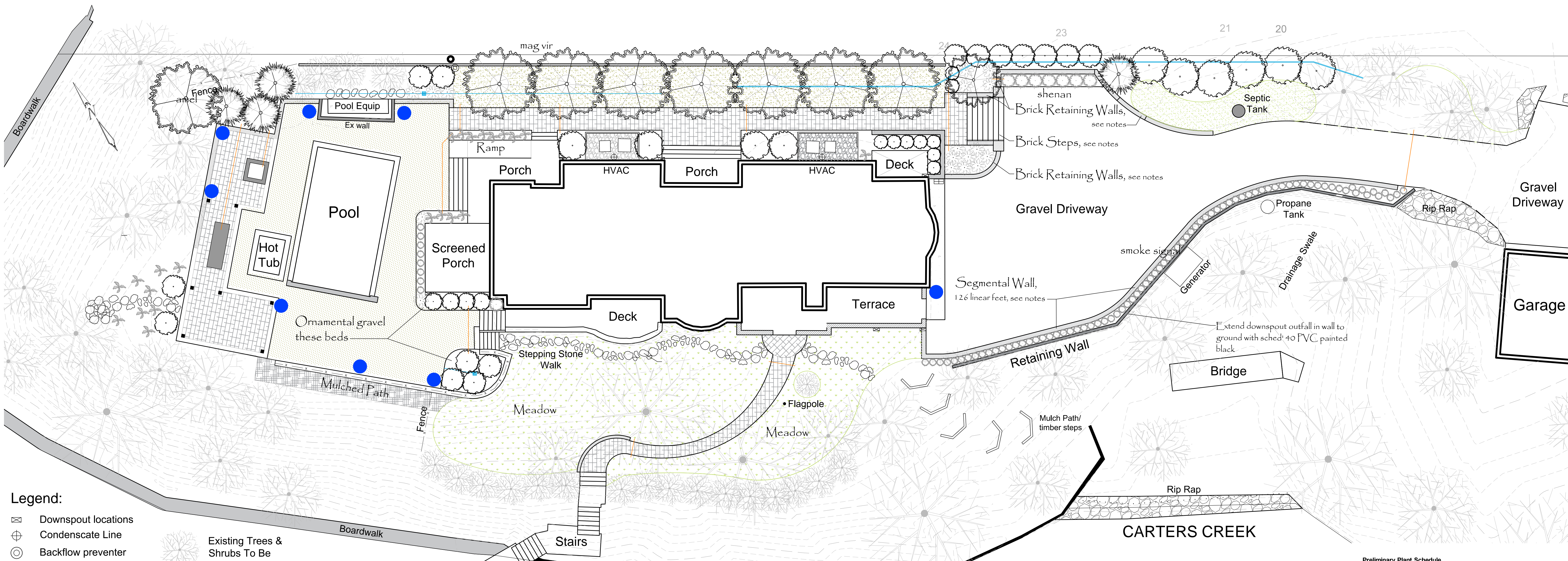
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Scale: 1"=10'



- Legend:**
- ⊗ Downspout locations
 - ⊕ Condensate Line
 - ⊙ Backflow preventer
 - ⊞ Electric Meter
 - Yard Hydrant
 - Double 2" PVC conduit
 - Existing Trees & Shrubs To Be Preserved
 - Container location, provide drip emitter. Containers provided by owner, contractor to install gravel, fabric, soil

PLANTING NOTES

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ALL TREES AND SHRUBS SHALL CONFORM TO THE MOST RECENT EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. LOCALLY GROWN NURSERY STOCK SHALL BE USED FOR THE B&B VARIETIES.

THE QUALITY OF THE PLANT MATERIAL MUST BE OF A HIGH STANDARD. NO PLANTS ARE TO BE STORED ON SITE FOR LONGER THAN 48 HRS, AND ALL STORED PLANTS MUST BE KEPT IN FULL SHADE AND WATERED DAILY. CONTRACTOR SHALL PROVIDE A GUARANTEE AGAINST PLANT MORTALITY FOR A PERIOD OF ONE YEAR.

ALL PLANTING BEDS SHALL BE TREATED WITH THREE TO FOUR INCHES OF HARDWOOD DOUBLE SHREDDED MULCH DYED BROWN.

COMPOST OR A BEDDING MIX SHALL BE TILLED INTO THE SOIL A DEPTH OF 6" IN ALL PLANTING AREAS EXCEPT WHERE SOIL IS TO BE REMOVED (THIS CAN BE REPLACED WITH A HIGH GRADE TOPSOIL). FINISHED GRADE OF ALL TOPSOIL SHALL BE 3" BELOW HARDSCAPE ELEVATIONS.

ALL DEBRIS SHALL BE REMOVED FROM THE SOIL IN ALL PLANTING AREAS.

PLANT SUBSTITUTIONS MUST BE APPROVED BY FOUR WINDS.

AN IRRIGATION SYSTEM IS TO BE INSTALLED IN PLANTING AREAS AND THROUGHOUT MEADOWS. MISTER HEADS ARE TO BE USED IN PLANTING BEDS WITH ROTAR HEADS IN MEADOWS. NO ROTAR HEAD THROWS REACH MASONRY SURFACES. LOCATE CONTROL BOX AT THE POOL EQUIPMENT AREA. CONTRACTOR TO SUBMIT AN IRRIGATION SCHEMATIC TO FOUR WINDS AND HOMEOWNER FOR APPROVAL. UPON COMPLETION CONTRACTOR SHALL FILL OUT THE ZONE LABELS IN THE CONTROL BOX AND PROVIDE A MARKED UP AND LAMINATED IRRIGATION SCHEMATIC SHOWING ZONE LOCATIONS AT 11" X 17".

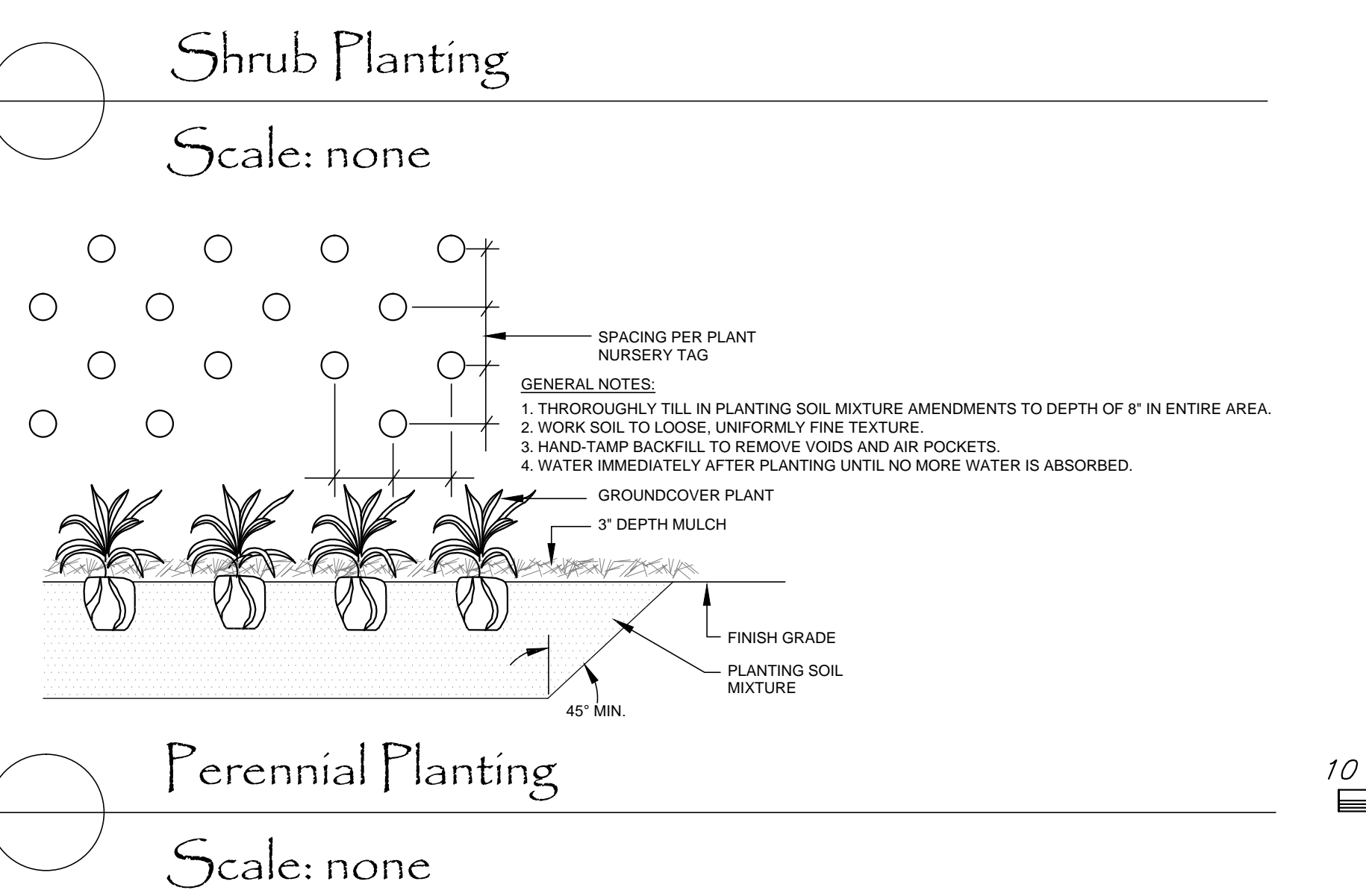
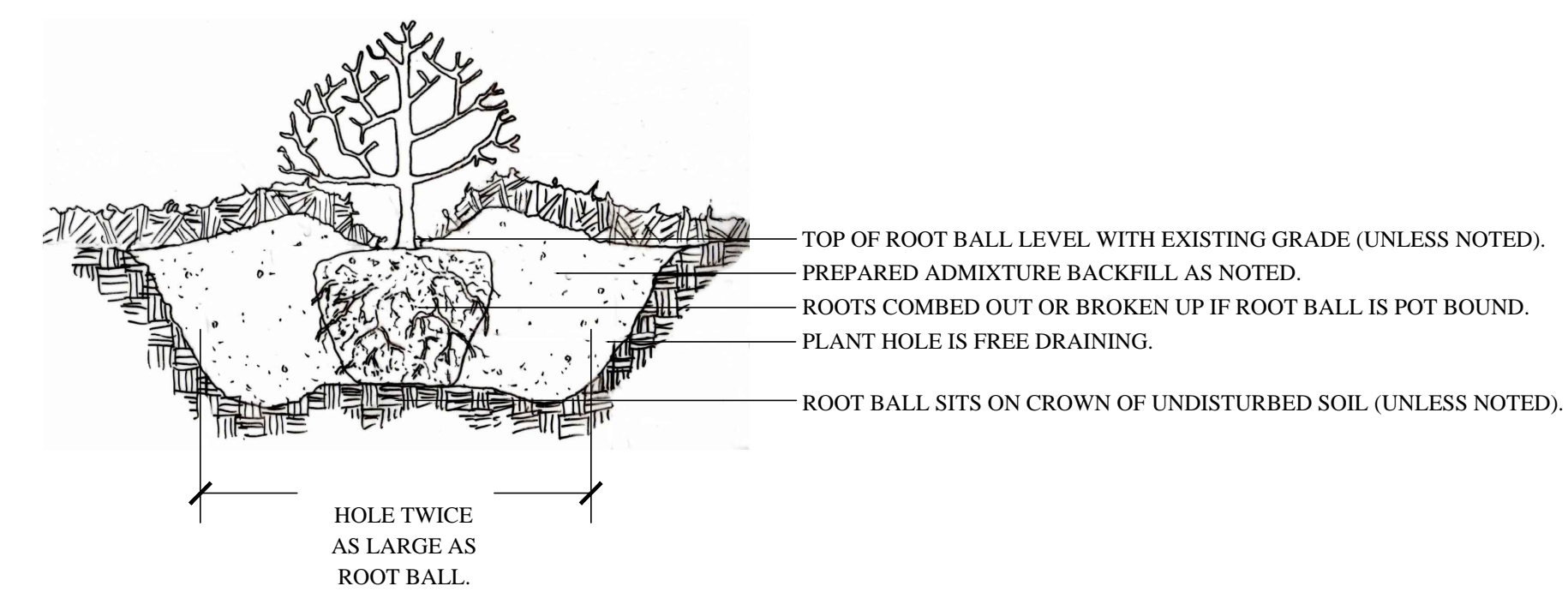
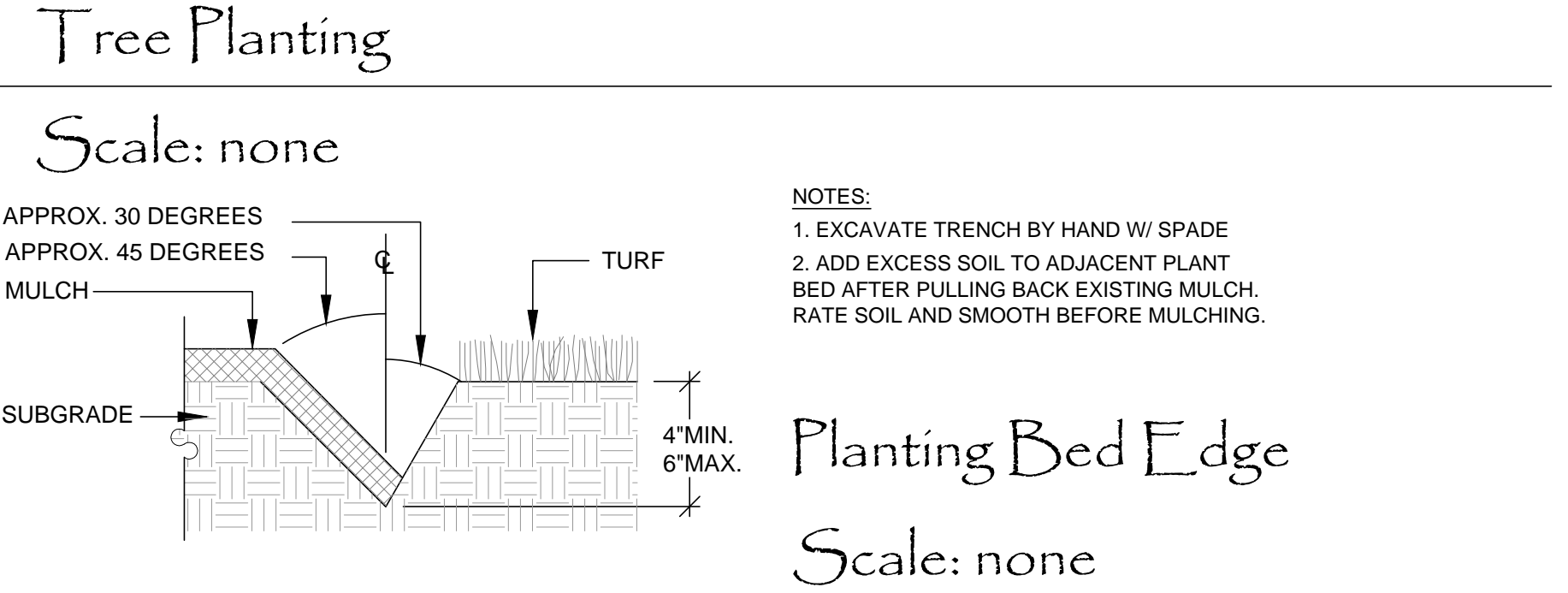
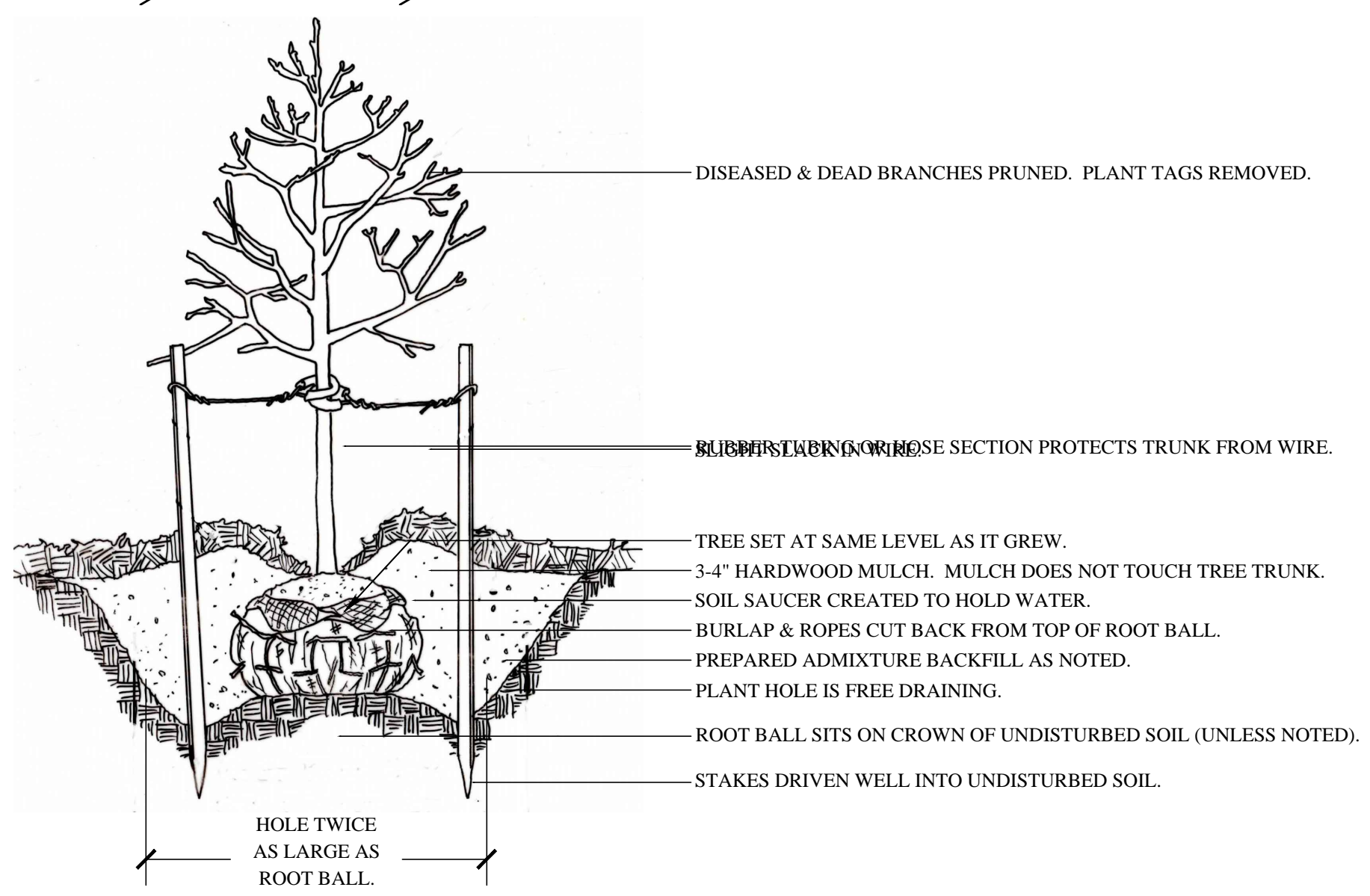
IRRIGATION ZONES SHALL BE AS FOLLOWS:

- DRIVEWAY GRASSES BETWEEN EXISTING WALL AND SEGMENTAL WALL
- MEADOW NEAR DRIVEWAY AREA
- PLANTINGS AROUND STAIRS AND DRIVEWAY WALL
- PLANTINGS BETWEEN FRONT WALK AND COMPOSITE FENCE, DOWN TO POOL EQUIPMENT/ PATIO
- PLANTINGS BETWEEN FRONT WALK AND FOUNDATION AND NEXT TO RAMP
- PLANTING POCKETS AROUND POOLSIDE PORCH AND NEXT TO STAIRS
- WEST MEADOW WATERSIDE
- EAST MEADOW WATERSIDE
- CONTAINERS

IRRIGATION CONTROLLER SHALL BE SIZED TO ACCOMMODATE MINIMUM 12 MORE ZONES. CONTROLLER SHALL BE COMPATIBLE WITH HYDRAWISE CONTROL SYSTEM OR COMPARABLE.

MEADOW ESTABLISHMENT SHALL BE AS FOLLOWS:

- TOTAL REMOVAL OF ALL EXISTING VEGETATION IN AREAS EXCEPT TREES
- TILLING OF SOIL AMENDMENT PER NOTE ABOVE
- BROADCAST OF CUSTOM SEED BLEND (USE ALLOWANCE FOR BID) AND STARTER FERTILIZER
- INSTALLATION OF DECOMPOSABLE FIBER (NOT STRAW) EROSION CONTROL BLANKETS
- RETURN WHEN SEEDLINGS HAVE REACHED A HEIGHT OF GREATER THAN 18" AND CUT BACK TO 6". REMOVE UNDESIRABLE VEGETATION THAT IS RE-GROWING AND SPOT SEED
- THE ORNAMENTAL GRAVEL SHALL BE TAN RIVER STONE, MIX 1-2" SIZE (75%) AND 2-3" SIZE (25%). LAY TO A DEPTH OF 3" OVER COMMERCIAL GRADE FABRIC.



Preliminary Plant Schedule

Botanical Name	Common Name	Quantity	Size
Amelanchier arborea	Serviceberry	1	8-10'
Aster sp 'Wood's Blue'	Aster	33	1 Gal
Camellia japonica	Japanese Camellia	4	7 Gal
Cercis canadensis 'Alley Cat'	Dwarf Redbud	1	8-10'
Clethra alnifolia 'Hummingbird'	Dwarf Clethra	9	5 Gal
Dryopteris intermedia	Fancy Fern	13	1 Gal
Gardenia jasminoides 'Frostproof'	Gardenia	4	5 Gal
Ilex vomitoria 'Bordeaux'	Dwarf Yaupon Holly	11	5 Gal
Ilex x 'Oakleaf'	Nellie Steven Holly	4	8-10'
Itea virginica 'Henry's Garnet'	Sweetspire	4	5 Gal
Magnolia virginiana	Sweetbay Magnolia	7	12-14'
Narcissus sp	Daffodil	175	top
Panicum virgatum 'Shenandoah'	Switch Grass	8	3 Gal
Penstemon sp 'Red Rocks'	Beard Tongue	102	1 Gal
Polystichum acrostichoides	Christmas Fern	9	1 Gal
Salvia gregii	Texas Sage	14	1 Gal
Schizachyrium scoparium 'Smoke Signal'	Little Bluestem	79	1 Gal
Schizachyrium scoparium 'The Blues'	Little Bluestem	8	1 Gal
Tradescantia sp 'Mrs Lowerer'	Spiderwort	33	1 Gal
Viburnum dentatum 'Chicago Luster'	Arrowwood Viburnum	3	15 Gal
Viburnum dentatum 'Blue Muffin'	Arrowwood Viburnum	3	15 Gal

FOUR WINDS DESIGN, LC

804-920-5878
www.fourwindsdesign.net

Wozniak Residence
91 York Road
Irvington, Virginia

Preliminary Landscape & Irrigation Plan
Not for construction

Date:
6.28.24

Revised per client comment, 2.19.24
Revised per client comment, 3.13.24
Revised per contractor meeting, 3.13.24
Revised per town comment, 4.19.24

Scale: 1"=10'

Scale: 1"=10'

Sheet 6 of 6